

**NOTICE OF SPECIAL JOINT MEETING
SEABROOK CITY COUNCIL & PLANNING AND ZONING COMMISSION
TUESDAY, APRIL 7, 2015 - 6:00 PM**

NOTICE IS HEREBY GIVEN THAT THE SEABROOK CITY COUNCIL AND THE PLANNING AND ZONING COMMISSION WILL MEET IN JOINT SESSION ON TUESDAY APRIL 7, 2015 AT 6:00 PM IN THE SEABROOK CITY HALL COUNCIL CHAMBERS, 1700 FIRST STREET, SEABROOK, TEXAS, TO DISCUSS, CONSIDER, AND IF APPROPRIATE, TAKE ACTION WITH RESPECT TO THE ITEMS LISTED BELOW.

THIS FACILITY IS WHEELCHAIR ACCESSIBLE AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR OTHER ACCOMMODATIONS OR INTERPRETIVE SERVICES, MUST BE MADE, 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT THE CITY SECRETARY'S OFFICE AT (281) 291-5600 OR FAX (281) 291-5710 FOR FURTHER INFORMATION.

1.0 PRESENTATIONS

ATTACHMENT 1

- 1.1 Presentation of final plan of the Chesapeake Bay Senior Apartments Planned Unit Development (PUD). This item will be considered for approval at the regular meeting at 7:00 p.m. (Applicant)

ATTACHMENT 2

- 1.2 Presentation of the final plan for El Mar Village Townhomes Planned Unit Development (PUD). This item will be considered for approval at the regular meeting at 7:00 p.m. (Applicant)

2.0 PUBLIC COMMENTS AND ANNOUNCEMENTS

At this time we would like to listen to any member of the audience on any subject matter, whether or not that item is on the agenda. All comments are limited to a maximum of four minutes for each speaker. In accordance with the Open Meetings Act, members may not discuss or take action on any item that has not been posted on the agenda. When your name is called, please come to the podium and state your name and address clearly into the microphone before making your comments. Thank you.

3.0 SPECIFIC PUBLIC HEARING(S)

ATTACHMENT 3

- 3.1 Proposed Ordinance No. 20115-08, "Procedure for Consideration of Preliminary PUD Plans. (Landis)

AN ORDINANCE AMENDING THE SEABROOK CODE OF ORDINANCES, APPENDIX A "COMPREHENSIVE Zoning", ARTICLE 4, "SPECIAL USE REGULATIONS", SECTION 4.10 "PLANNED UNIT DEVELOPMENTS" ("PUD"), BY UPDATING AND CLARIFYING PROCEDURES FOR CONSIDERATION OF PRELIMINARY PUD PLANS PURSUANT TO SUBsection 4.10.06 "PUD DESIGNATION PROCEDURE"; PROVIDING FOR A PENALTY IN AN AMOUNT NOT TO EXCEED \$2000.00 FOR VIOLATION OF ANY PROVISION HEREOF BY INCLUSION INTO THE CODE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES INCONSISTENT OR IN CONFLICT HERewith; AND PROVIDING FOR SEVERABILITY, EFFECTIVE DATE AND NOTICE.

THE CITY COUNCIL AND THE PLANNING AND THE PLANNING & ZONING COMMISSION RESERVE THE RIGHT TO HEAR ANY OF THE ABOVE DESCRIBED AGENDA ITEMS THAT QUALIFY FOR AN EXECUTIVE SESSION IN AN EXECUTIVE SESSION BY PUBLICLY ANNOUNCING THE APPLICABLE SECTION NUMBER OF THE OPEN MEETINGS ACT, (CHAPTER 551 OF THE TEXAS GOVERNMENT CODE) THAT JUSTIFIES EXECUTIVE SESSION TREATMENT.

CERTIFICATE

I certify that this notice was posted on the bulletin board on or before Thursday, April 2, 2015 and that this notice will remain posted until the meeting has ended.



Michele Glaser, TRMC
City Secretary





CITY OF SEABROOK

AGENDA BRIEFING

Date of Meeting: April 7, 2015

Submitter/Requestor: Community Development

Date Submitted: March 27, 2015

Presenter: Sean Landis

Description/Subject:

A request for final approval of a Planned Unit Development (PUD) to create "Chesapeake Bay Luxury Seniors Community" approximately 12 acre, 259 unit, luxury apartment complex.

Applicant:

WMF Investments (William Friedrichs)

Legal Description: Tract 1 - 0.2327 Acres, H.C.C.F. No. 20070629538, remainder of 0.2248 Acres; Tract 2A - 1.2 Acres, H.C.C.F. No. T539938, remainder of 1.16 Acre; Tract 2B - 1.2 Acres, H.C.C.F. No. T539938, remainder of 1.16 Acre; Tract 3 - 3.360 Acres H.C.C.F. No. U067284, remainder 3.244 Acres; and Tract 4 - 5.72 Acres out of 10.501 Acres, H.C.C.F. No. P969328, Repsdorph Partition, Abstract 52 in the Ritson Morris Survey, Harris County Texas

This property is located immediately east of Repsdorph and south of Brummerhop Park.

Request: The applicant is requesting the aforementioned property be granted final approval of a Planned Unit Development (PUD) Overlay.

Purpose/Need: Policy Issue ☒ Administrative Issue ☐

The purpose of the Planned Unit Development (PUD) is to provide a flexible approach for development, allows a more flexible response to the market, encourage innovative mixed uses and site plan design.

Background/Issue (What prompted this need?):

The applicant: W.M.F. Investments is requesting the final approval of a Planned Unit Development (PUD) "Chesapeake Bay Luxury Seniors Community". The project will be 55 years of age restricted, 259 unit multifamily development.

The project will be constructed on approximately a 12 acres site located immediately east of Repsdorph and south of Brummerhop Park.

Agenda Briefing Form
Page 2

Impacted Parties (Expected/Notified):

Recommended Action:

Attachments:

Exhibit A. Final Planned Unit Development Plan, Titled "Chesapeake Bay Luxury Seniors Community"

Fiscal Impact: Budgeted _____ Yes _____ No
Budget Amendment Required _____ Yes _____ No
Future/Ongoing Impact _____ Yes _____ No

Finance Officer Review:

Budget Dept/Line Item Number N/A

Funding Comments:

N/A

Where on the agenda should this item be placed?

(i.e. Public Hearing, New Business, Old Business, Consent Agenda, Executive Session, etc.)

Joint Public Hearing & New Business

Suggested Motion:

City Manager Review:

- ☐ Approved as submitted
- ☐ Submitted for Council consideration without comment
- ☐ Submitted for Council consideration with comments stated below:

(All items are to be reviewed and approved by the city manager, except items submitted by the mayor or any council member or routine consent agenda items such as minutes and second & third readings of ordinances.)

Sent to City Attorney for review _____

(City Attorney should review all ordinances, resolutions, contracts and executive session items.)

Received and accepted by the City Secretary/Assistant _____

Returned by the City Secretary/Assistant (If incomplete) _____

All requests must be submitted to the City Secretary's Office no later than 5:00 p.m. on the Wednesday preceding the regular Tuesday Council Meeting. All required attachments are to be submitted with the request. Incomplete items cannot be placed on the agenda.

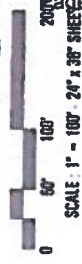
CHESAPEAKE BAY

A Luxury Seniors Community

Developed by
WMF INVESTMENTS



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Architects



CHESAPEAKE BAY

A Luxury Seniors Community

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PROJECT SUMMARY:

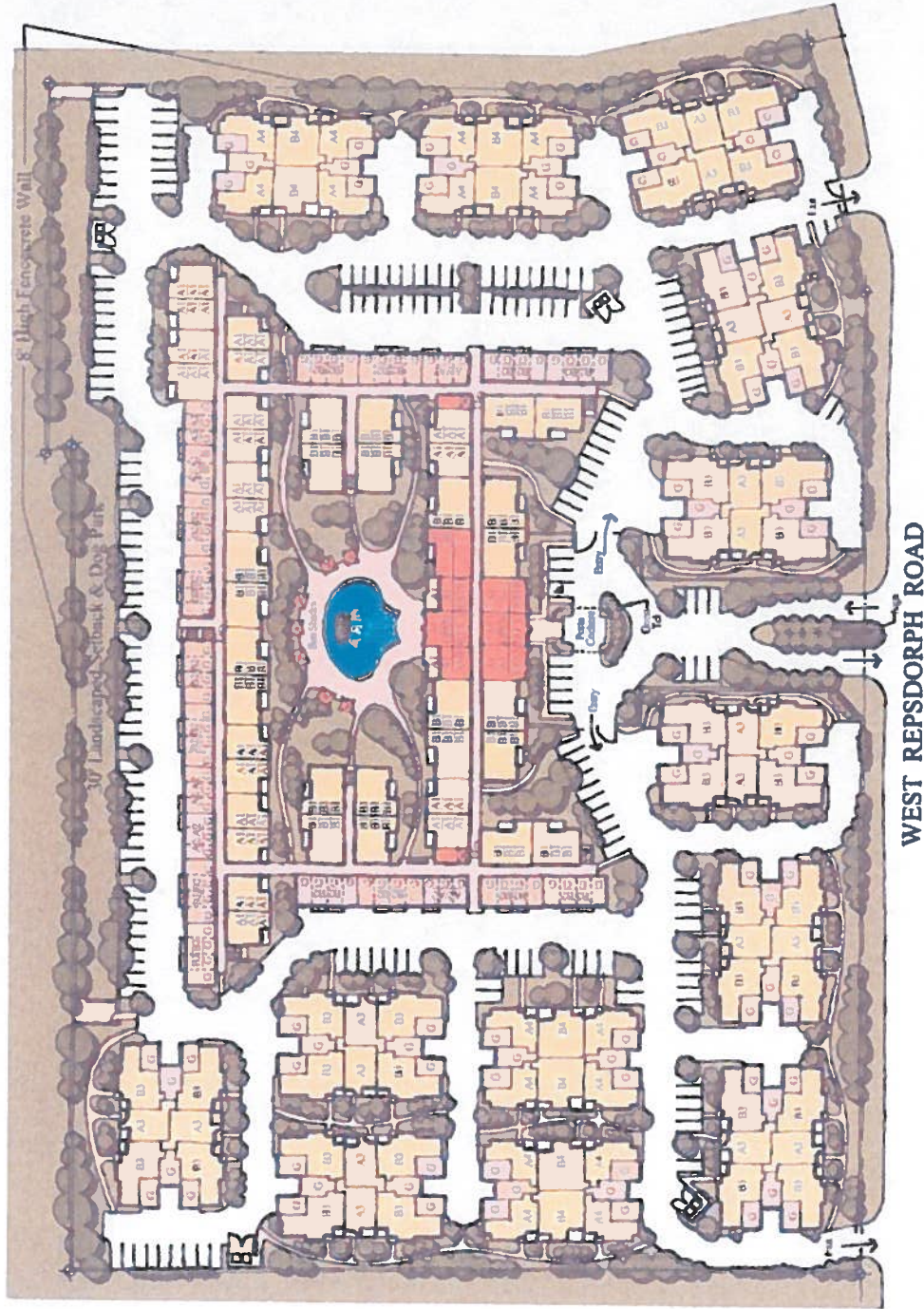
Apartments:		
Type	Description	Area
A1	One Bedroom, 1 Bath	729 s.f.
A2	One Bedroom, 1 Bath	748 s.f.
A3	One Bedroom, 1 Bath (Garage)	820 s.f.
A4	One Bedroom, 1 Bath (Garage)	791 s.f.
Total One Bedroom Units		116 Units
B1	Two Bedroom, 2 Bath	990 s.f.
B2	Two Bedroom, 2 Bath	1,012 s.f.
B3	Two Bedroom, 2 Bath (Garage)	1,098 s.f.
B4	Two Bedroom, 2 Bath (Garage)	1,113 s.f.
Total Two Bedroom Units		143 Units
Apartments Total		259 Units 234,472 s.f.
Parking Provided:		
Direct Attached Garages		78 cars
Bicentricity Garages		74 cars
Open Parking		204 cars
Total Parking Provided		356 cars (1,377 cars/unit)

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ENGINEERS • PLANNERS • SURVEYORS

DATE: 02-13-2015

EX-11617 9-2

SITE PLAN



CHESAPEAKE BAY

A Luxury Seniors Community

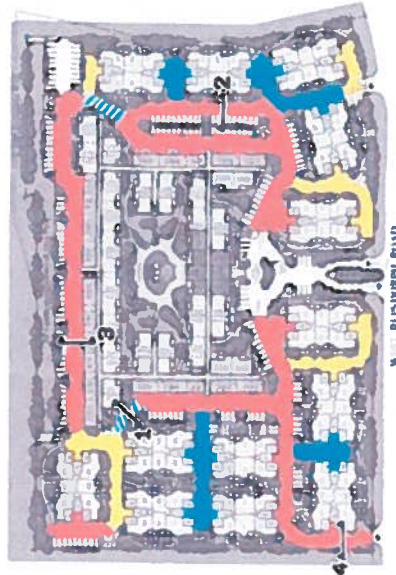
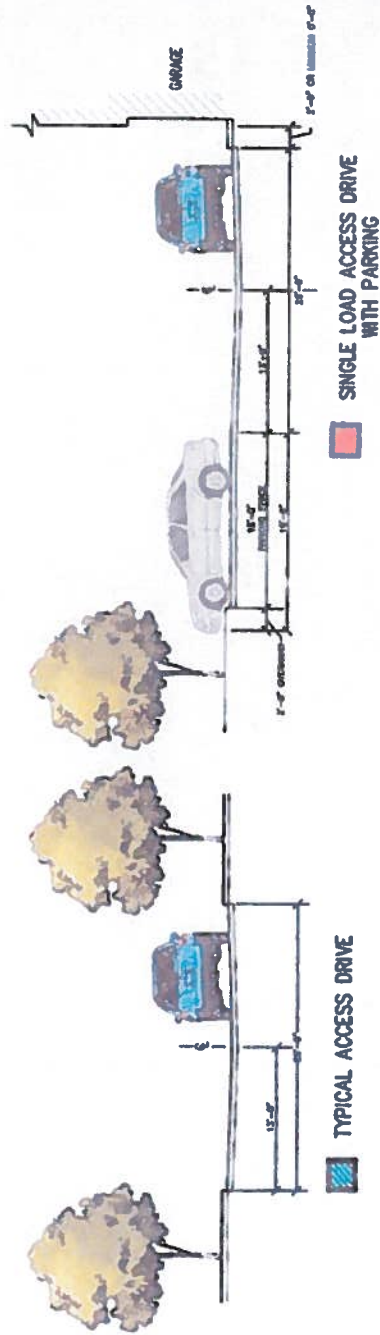
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EXHIBIT B-2

ACCESS DETAIL



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DATE: 02-13-2015

CHESAPEAKE BAY - A LUXURY SENIORS COMMUNITY

CHESAPEAKE BAY

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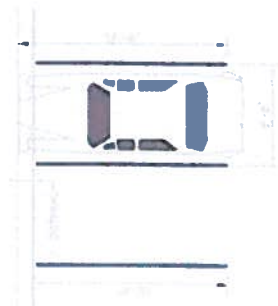


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PARKING SUMMARY

● Attached Garages	78
● Breezeway Garages	74
● Open Parking	204
Total Parking	356

Minimum 1.37 Spaces/Unit



TYP. PARKING DETAIL

EXHIBIT B-4

PARKING LAYOUT



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OPEN SPACE

INDICATES OPEN SPACE
MINIMUM 20% OPEN SPACE
151,156 SF. PROVIDED
29% OF TOTAL SITE AREA



DATE: 02-13-2015

CHESAPEAKE BAY - A LUXURY SENIORS COMMUNITY

CHESAPEAKE BAY

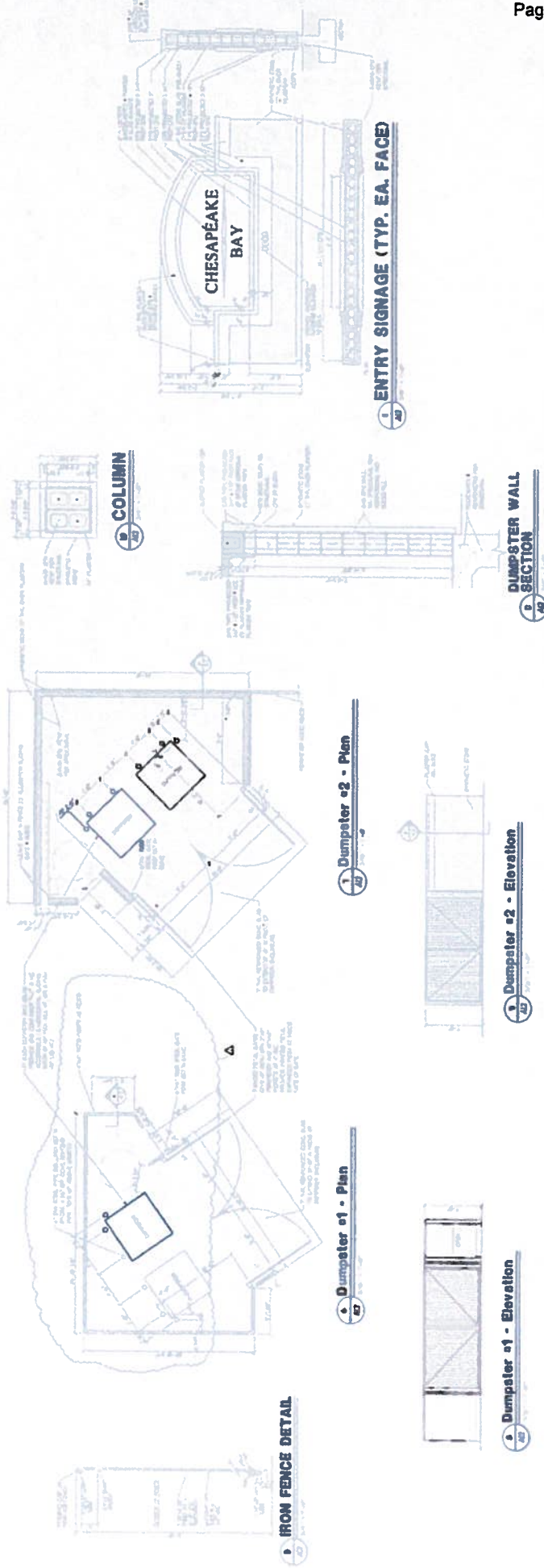
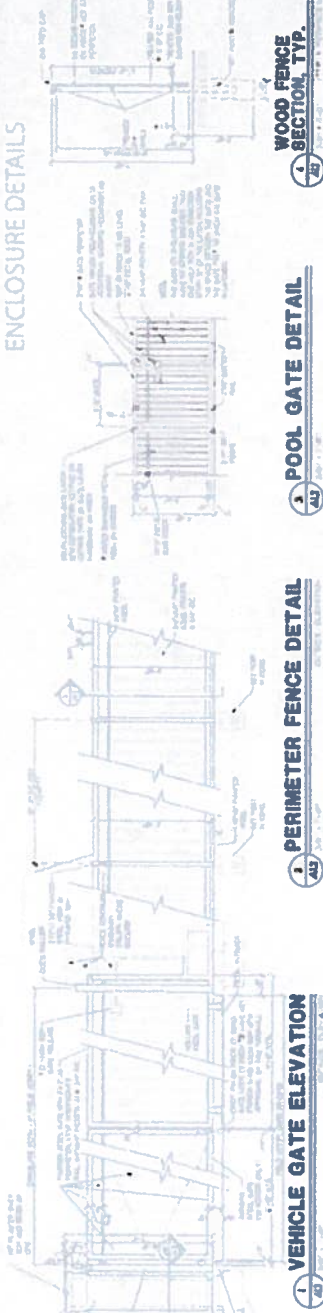
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EXHIBIT B-62

SIGN & SOLID WASTE ENCLOSURE DETAILS



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DATE: 02-13-2015

CHESAPEAKE BAY - A LUXURY SENIORS COMMUNITY

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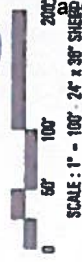
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EXHIBIT B-7

EXISTING UTILITIES



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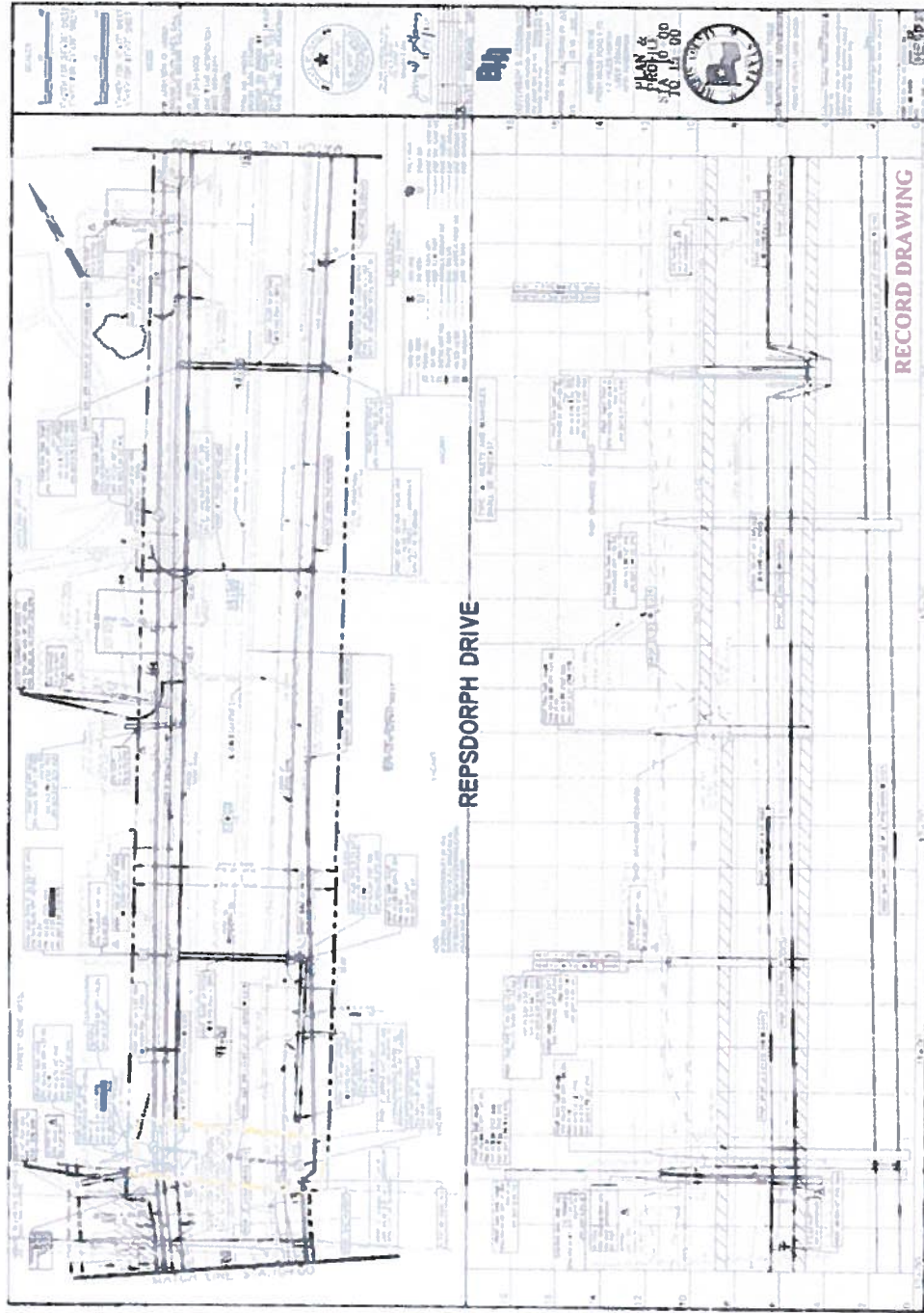
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EXHIBIT 9-7a

EXISTING UTILITIES



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CHESAPEAKE BAY

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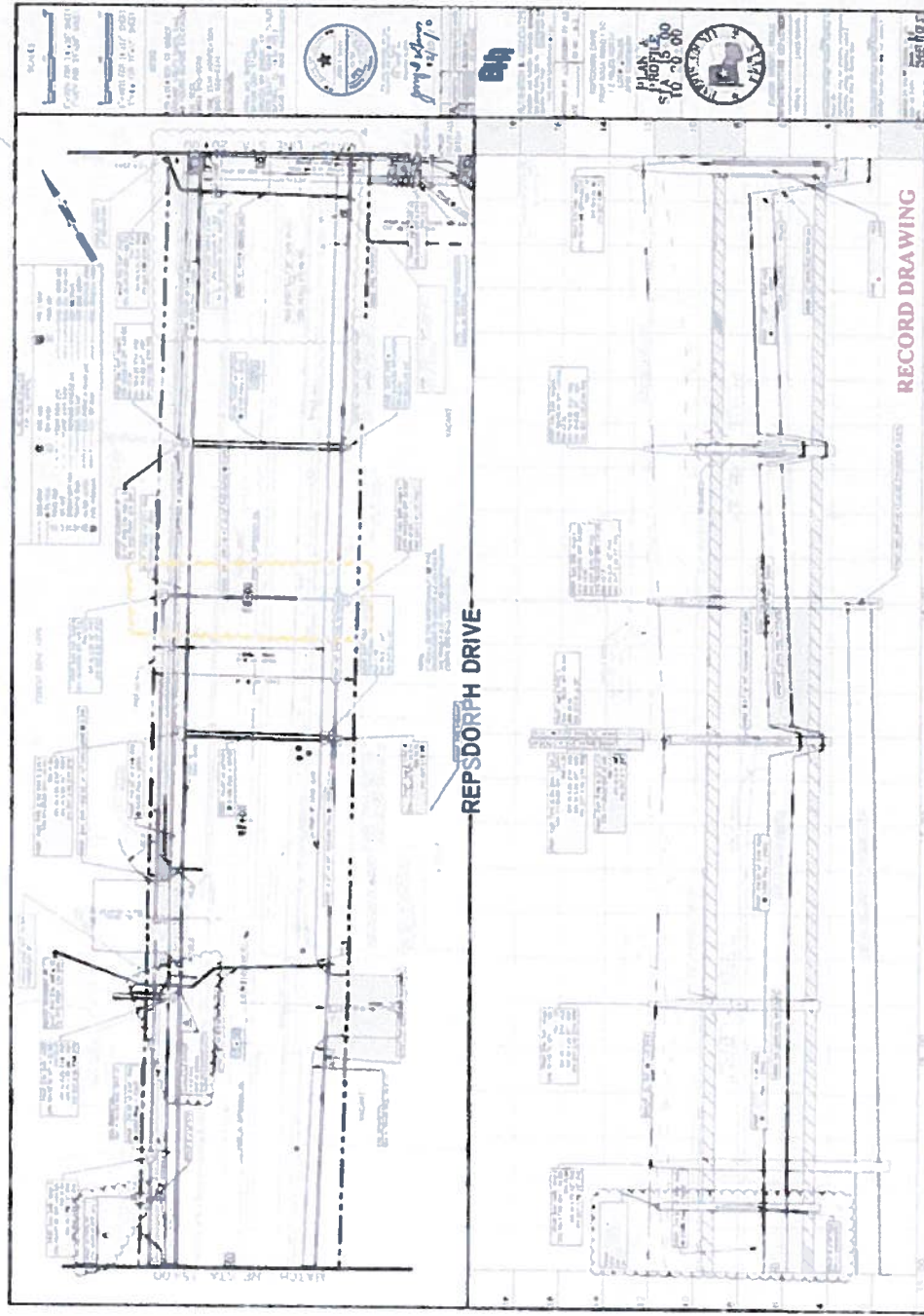
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EXHIBIT B-7b

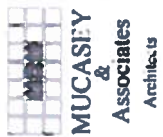
EXISTING UTILITIES



CHESAPEAKE BAY

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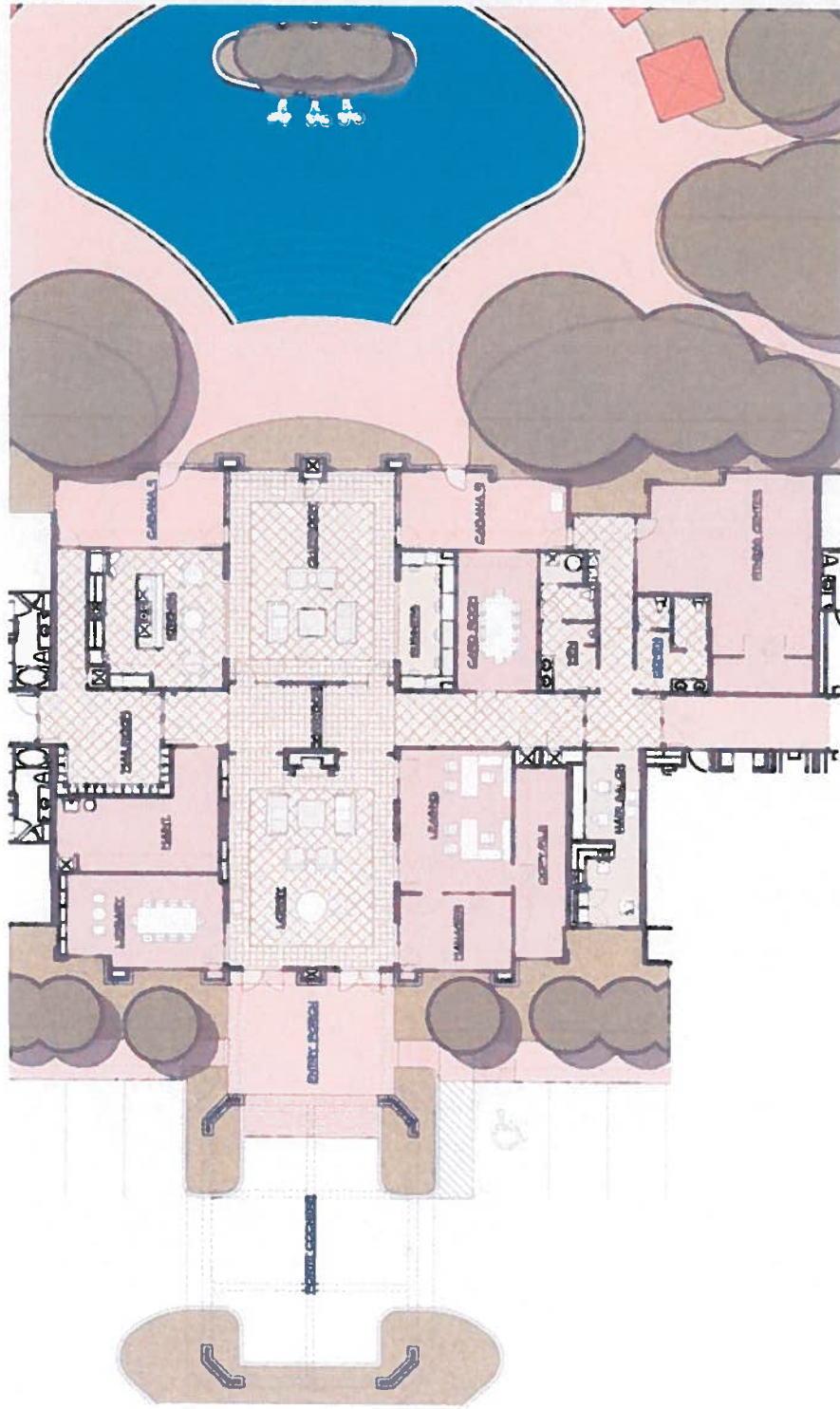
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EXHIBIT B-8

AMENITY CENTER PLAN



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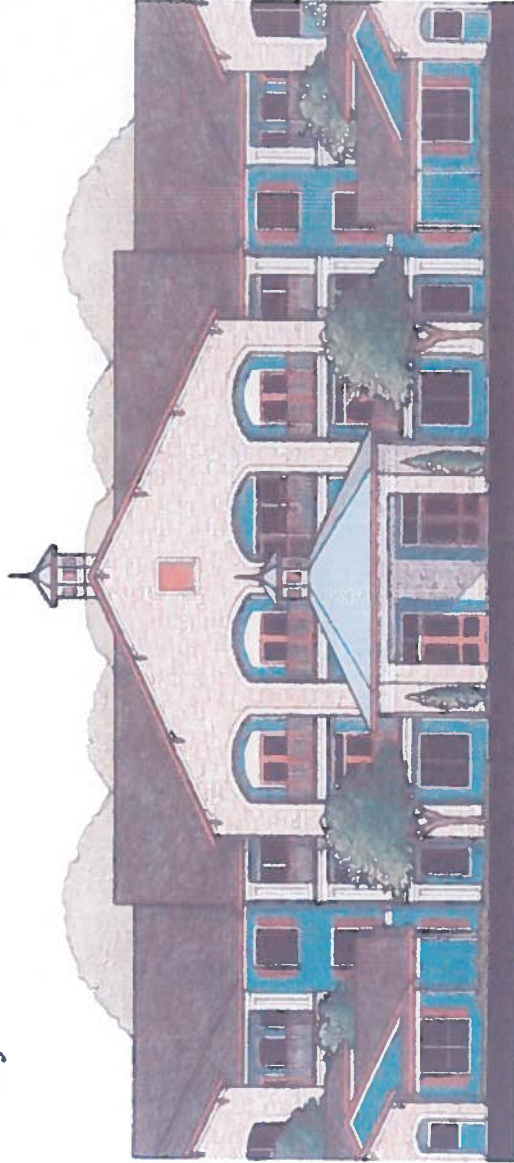
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Amenity Center Detail



CHESAPEAKE BAY

A Luxury Seniors Community

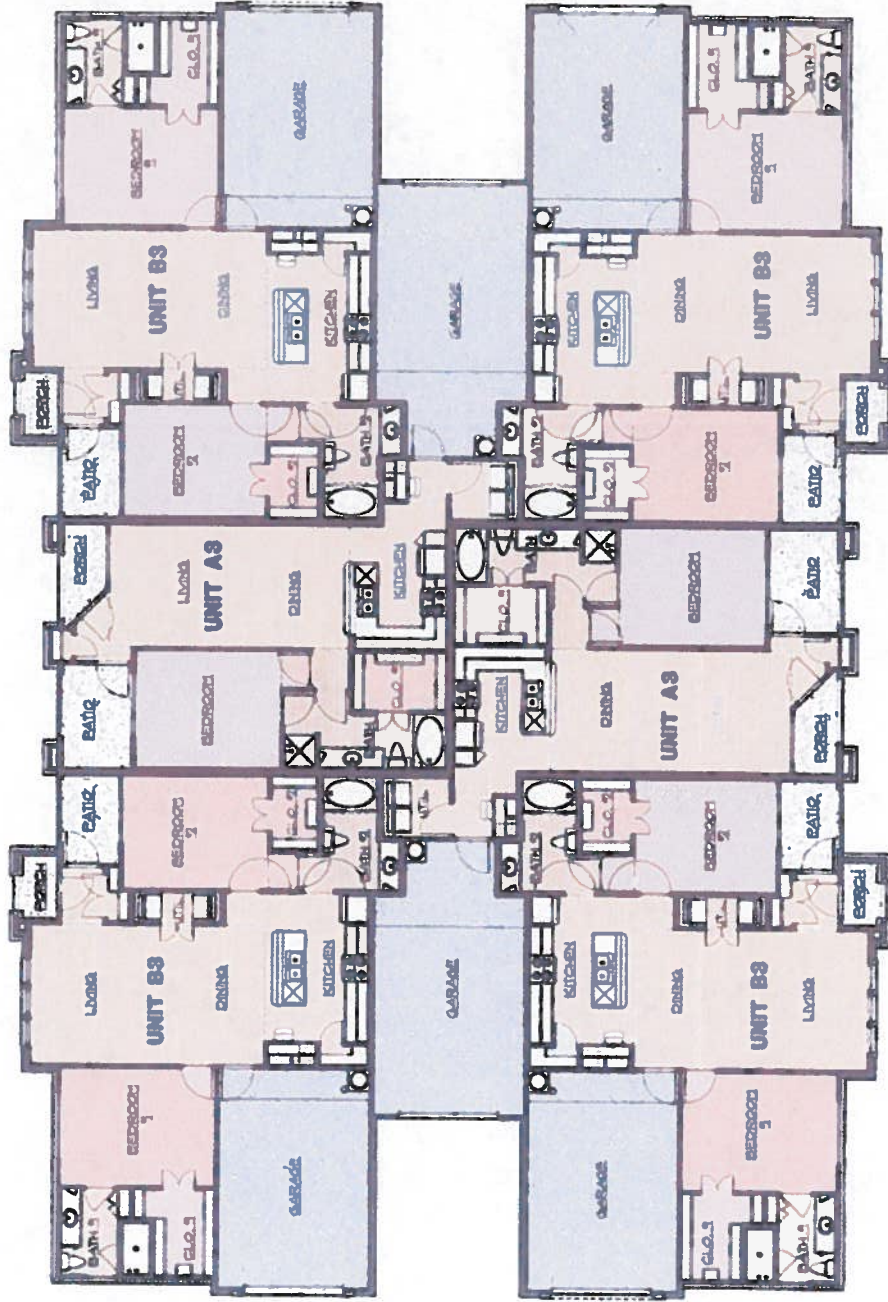
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EXHIBIT B-104

TYPICAL FLOOR PLAN



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CHESAPEAKE BAY - A LUXURY SENIORS COMMUNITY

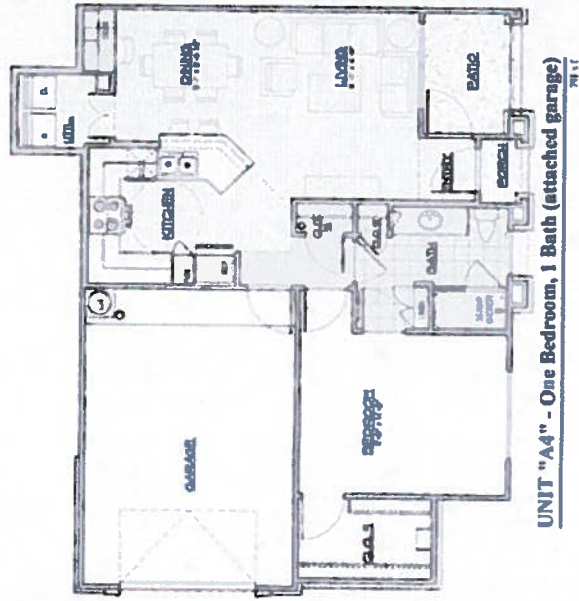
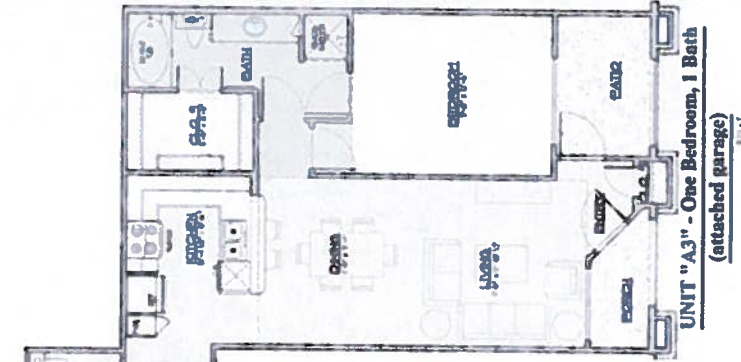
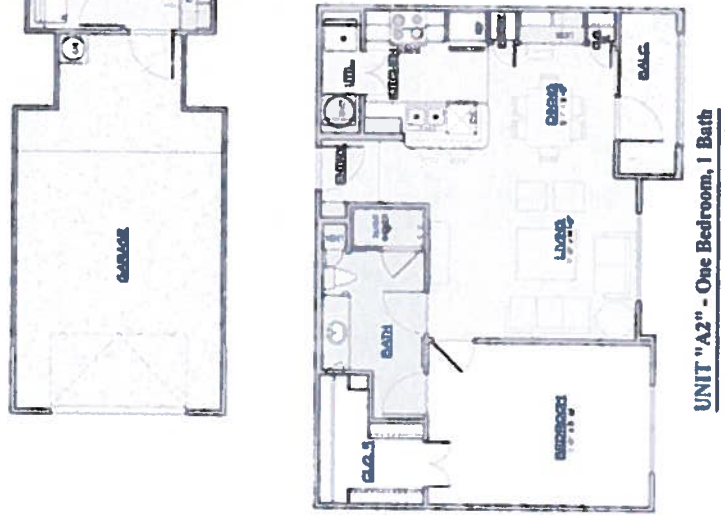
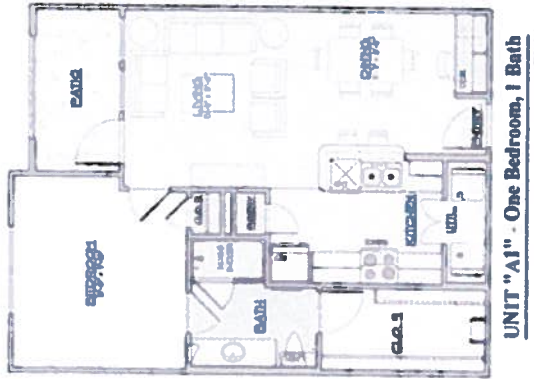
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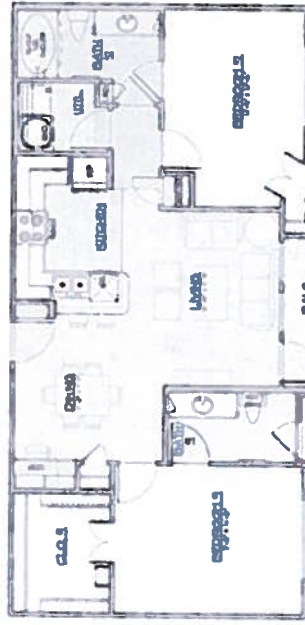
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EXHIBIT B-106

TYPICAL FLOOR PLANS



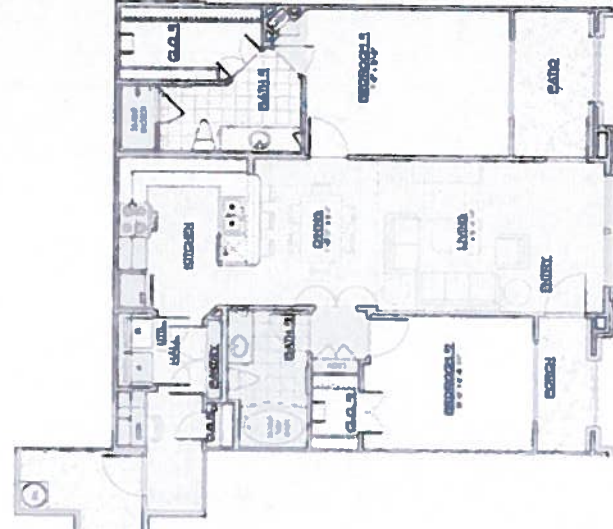
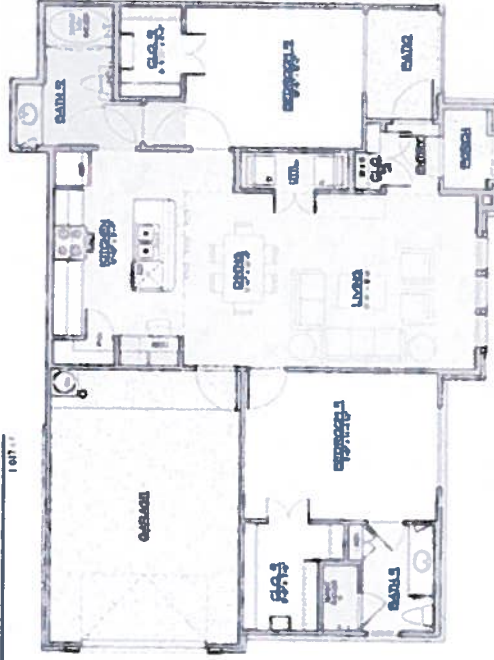
UNIT "B2" - Two Bedroom, 2 Bath
1,011 sq. ft.



UNIT "B2" - Two Bedroom, 2 Bath
1,011 sq. ft.



UNIT "B3" - Two Bedroom, 2 Bath (attached garage)
1,131 sq. ft.



UNIT "B4" - Two Bedroom, 2 Bath (attached garage)
1,131 sq. ft.

**EXHIBIT B-11
CHESAPEAKE BAY PLANNED UNIT DEVELOPMENT
PRELIMINARY DEVELOPMENT SCHEDULE**

- A. Second Quarter 2015: Design and plan review and approval**
- B. Third Quarter 2015: Begin on site construction**
- C. Second Quarter 2016: Construction complete**
- D. Mid 2016: Begin occupancy.**

CHESAPEAKE BAY

A Luxury Seniors Community

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STORM LEGEND

- STORM INLET
- STORM PIPE
- DRAINAGE FLOW

PROPOSED STORM DRAINAGE

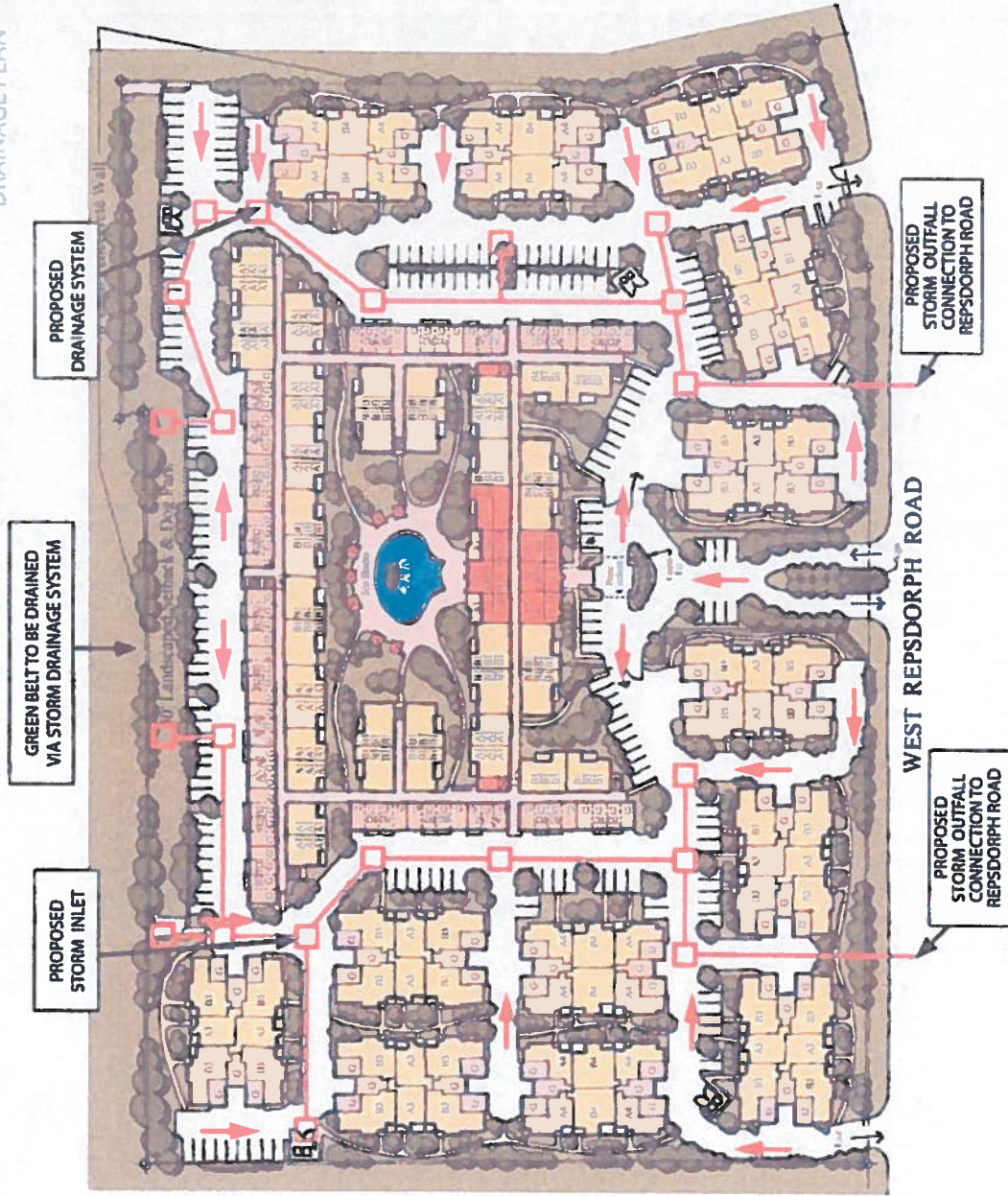


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DATE: 02-13-2015

EXHIBIT B-12

DRAINAGE PLAN



CHESAPEAKE BAY - A LUXURY SENIORS COMMUNITY

Wetland Delineation Plan

WMF Investments (Developer) has engaged Enercon Services, Inc. (Enercon) to perform a waters of the U.S., including wetlands, delineation. The flow chart below lists the sequence of steps the Developer anticipates undertaking in order to determine the presence and impact of jurisdictional waters on the proposed development.

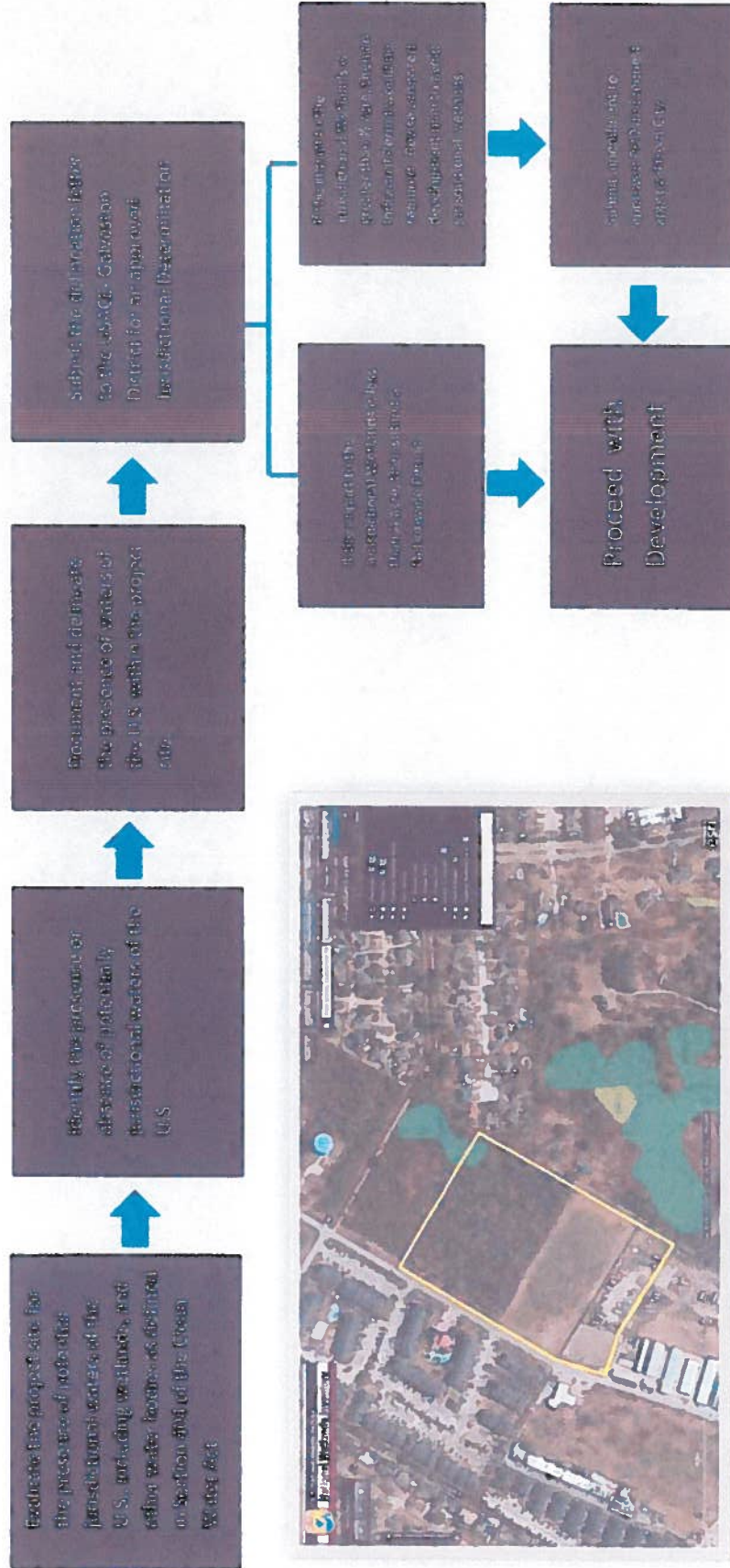


Figure 1 Screenshot of the National Wetlands Inventory Map, Wetlands Mapper, with the project site outlined in yellow.

Exhibit B

CHESAPEAKE BAY PLANNED UNIT DEVELOPMENT DISTRICT PLAN

A. CONTENTS

This Planned Unit Development District Plan (PUD) includes the following Sections:

- General Provisions
- Permitted Land Uses
- Development Regulations
- Building Regulations

B. GENERAL PROVISIONS

1. The PUD approved herein must be constructed, developed, and maintained in compliance with this ordinance and other applicable ordinances of the City. If any provision or regulation of any City ordinance applicable in a R-3(Medium Density) zoning district (Base Zoning) is not contained in this ordinance, all the regulations contained in the Zoning and Subdivision ordinances applicable to the R-3 zoning district in effect on the effective date of this ordinance apply to this PUD as though written herein, except to the extent the City regulation or provision conflicts with a provision of this ordinance.
2. Except as otherwise provided herein, the words used in this PUD have the meaning established by the Zoning ordinance. In this ordinance:

Accessory building means a building subordinate to a principal building and includes detached garages.

Open Space means the portion of all land contained within the PUD that is not covered by buildings, parking lots, driveways, improved pedestrian areas, or other impermeable material.

PUD means the planned unit development district created by this ordinance.

Shared/Common Driveway means a privately owned and maintained vehicular access way that provides access from a public street to residential or non-residential units.

3. The PUD shall be developed in accordance with the following exhibits that are attached to and made part of this document:

Exhibit B-1:	<i>Location Map</i>
Exhibit B-2:	<i>Site Plan</i>
Exhibit B-3:	<i>Access Detail</i>
Exhibit B-4:	<i>Parking Layout</i>
Exhibit B-5:	<i>Open Space</i>
Exhibit B-6:	<i>Sign and Solid Waste Enclosure Details</i>
Exhibit B-7 – 7a & b:	<i>Existing Utilities</i>

Exhibit B-8:	<i>Amenity Center</i>
Exhibit B-9:	<i>Building Elevations</i>
Exhibit B10a, b, & c:	<i>Typical Floor Plans</i>
Exhibit B-11:	<i>Development Schedule</i>
Exhibit B-12:	<i>Drainage Plan</i>
Exhibit B-13:	<i>Wetland Delineation Plan</i>

4. As shown on [Exhibit 1, Location Map](#), the PUD encompasses approximately 11.77 acres between West Repsdorph Road to the west, Huckleberry Finn Cove to the east, Lot 1 Repsdorph Partition to the south, and Peeblebrook Drive to the north.
5. Senior Living, age restricted residential development shall substantially conform to the general layout and design concepts illustrated on [Exhibit B-2, Site Plan](#).
6. Refuse containers which are to serve multi-family residential uses are not permitted within view of West Repsdorph Road. [Exhibit 6, Sign and Solid Waste Enclosure Details](#)
7. Signage: a Freestanding sign meeting the City's requirements established in Article 6 – Sign Standards will be constructed on-premises as shown on [Exhibit 6, Sign and Solid Waste Enclosure Details](#)

C PERMITTED LAND USES

1. Senior Living - Age Restricted Residential, up to 259 units are permitted as shown on [Exhibit B-2, Site Plan](#), contingent on the following conditions:
 - a) All residents of the facility must be 55 years of age or older, or the spouse of a resident who is 55 years of age or older.
 - b) The facility shall include a common amenity area of not less than 5,000 square feet, including kitchen facilities, common use meeting rooms and gathering places, and shall substantially conform to the general layout and design concepts illustrated on [Exhibit B-8, Amenity Center](#)
 - c) The facility shall provide physical fitness / wellness center

D DEVELOPMENT REGULATIONS

1. Maximum height of structures: 3 stories, but no more than 40 feet above ground level except as follows:
 - (a) Chimneys, ornamental tower spires, cooling towers, elevator bulkheads, fire towers, stacks, roof gables, parapet walls, and mechanical equipment may extend an additional Height not to exceed 15 feet above the maximum Height allowed for the Structure to which it is affixed.

- (b) Satellite Dish Antennas as permitted by the City's accessory use regulations and towers and antennas and permitted by Article VII, regulating telecommunication towers and antennas.
- 2. All Senior Living - Age Restricted Residential development shall conform to the (R-3) Medium Density zoning district with the following exceptions:
 - (a) Density: No more than 23 units per acre.
 - (b) Off-street parking:
 - i. 1.3 parking spaces is required for each unit of Senior Living - Age Restricted Residential
 - ii. Forty Two percent (42%) of the required parking shall be covered or garage parking.
 - (c) Fencing: An 8' high opaque, concrete panel fence will be installed along the south and east boundary of the site. An open style "wrought Iron" metal fence with masonry columns will be constructed along the north and west boundary of the site.
 - (d) Paving:
 - i. All parking lots and vehicle use areas must be constructed of concrete.
 - ii. Driveways may be constructed of concrete, or paved with interlocking, multicolored pavers supported by a 6 inch reinforced concrete tray and a sub-grade per City design standards.
- 3. Building Area: Not more than 50 percent of the total site area shall be covered by building mass.

E LANDSCAPE AND PEDESTRIAN CIRCULATION REGULATIONS

The PUD shall require the following regulations adjacent to any tracts developed for Senior Living – Age Restricted Residential uses:

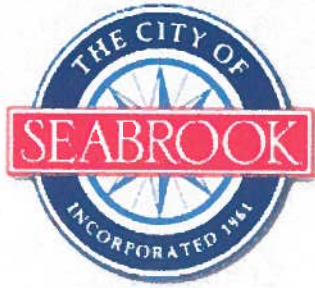
- 1. Landscape buffer (Single-family adjacency consideration):
 - (a) 30-foot minimum buffer shall be provided along the eastern property boundary.
- 2. Lighting used to illuminate sidewalks, landscape buffers, bicycle parking areas, or other common open space shall be arranged, located, or screened to direct light away from existing single-family residential lots.
- 3. Sidewalks: Sidewalks are required to connect the front entrance of each unit to the paved parking areas. All sidewalks shall be paved with concrete and be a minimum of four (4) feet wide. Trails extending through landscape and natural areas may be constructed using decomposed granite or other similar material.

F BUILDING REGULATIONS

The PUD shall require the following regulations for Senior Living

Age Restricted Residential Developments:

1. Primary exterior finishes are limited to brick, stone (natural, cast, or cultured-textured), textured concrete panels, glass, and fiber cement siding, cement plaster, and shall comprise at least 70% of each façade.
2. Secondary exterior finishes shall include wood, ceramic tiles, concrete masonry units (indented, hammered, or split face concrete), and stucco, and shall comprise no more than 30% of each façade.
3. Architectural Metals may be used for canopies, parapet walls, roof systems, and miscellaneous trim work.
4. Roofing materials shall be limited to the following:
 - a. Slope roof – dimensional composite shingles, metal, tile
 - b. Flat roof – shall meet the requirements as required by the IBC



CITY OF SEABROOK

AGENDA BRIEFING

Date of Meeting: April 7, 2015

Submitter/Requestor: Sean Landis

Date Submitted: March 27, 2015

Presenter: Sean Landis

Description/Subject:

Request for final approval of a Planned Unit Development (PUD) to create El Mar Village, a Townhome Community, consisting of approximately 18 units on approximately 2.1640 acres of land.

Applicant:

Sunset Development, Inc

Legal Description:

Reserves 1, 2 and 3, Block 5 in the Miramar Subdivision, Section 3, Abstract 52, of the Ritson Morris Survey, in Harris County, Texas.

This property is located immediately south of El Mar Lane and west of North Meyer. The property is located in the R-1 (Single Family Detached) zoning district.

Request:

Request for final approval of a Planned Unit Development (PUD) to create El Mar Village, a Townhome Community, consisting of approximately 18 units on approximately 2.1640 acres of land.

Purpose/Need: Policy Issue ☒ Administrative Issue ☐

The purpose of the Planned Unit Development (PUD) is to provide a flexible approach for development, allows a more flexible response to the market, encourage innovative mixed uses and site plan design.

Background/Issue (What prompted this need?):

Agenda Briefing Form
Page 2

The applicant: Sunset Development Inc. is requesting the final approval of a Planned Unit Development (PUD) "El Mar Village". The project will be a townhome community consisting of 18 individually platted and owned units to be constructed on 2.1640 acres.

The previous use of the property was a grandfathered apartment complex that was destroyed as a result of Hurricane Ike.

If approved, it is the wish of the applicant to begin construction of the development in 2015.

Impacted Parties (Expected/Notified):

Recommended Action:

Attachments:

1. Exhibit A. Final Planned Unit Development Plan, Titled: "El Mar Village.

Fiscal Impact: Budgeted _____ Yes _____ No Finance Officer Review:
Budget Amendment Required _____ Yes _____ No
Future/Ongoing Impact _____ Yes _____ No

Budget Dept/Line Item Number N/A

Funding Comments:

N/A

Where on the agenda should this item be placed?

(i.e. Public Hearing, New Business, Old Business, Consent Agenda, Executive Session, etc.)

Public Hearing & New Business

Suggested Motion:

City Manager Review:

- ☐ Approved as submitted
- ☐ Submitted for Council consideration without comment
- ☐ Submitted for Council consideration with comments stated below:

(All items are to be reviewed and approved by the city manager, except items submitted by the mayor or any council member or routine consent agenda items such as minutes and second & third readings of ordinances.)

Sent to City Attorney for review _____
(City Attorney should review all ordinances, resolutions, contracts and executive session items.)

Received and accepted by the City Secretary/Assistant _____

Returned by the City Secretary/Assistant (If incomplete) _____

All requests must be submitted to the City Secretary's Office no later than 5:00 p.m. on the Wednesday preceding the regular Tuesday Council Meeting. All required attachments are to be submitted with the request. Incomplete items cannot be placed on the agenda.

Planned Unit Development Plan

El Mar Village

Seabrook, Texas

Owner/Developer

Sunset Development, Inc.

April 7th, 2015

El Mar Village

Planned Unit Development Plan

Index

- 1) Planned Unit Development**
- 2) El Mar Village Survey - Exhibit A**
- 3) El Mar Village Utility Plan - Exhibit B**
- 4) El Mar Village Plat – Exhibit C**
- 5) El Mar Village Colorized Plat – Exhibit C-1**
- 6) El Mar Village Standards for PUD Development – Exhibit D**
- 7) El Mar Village Standard Features – Exhibit E**
- 8) El Mar Village Architectural Elevations – Exhibit F**

Preliminary Planned Unit Development Plan

4.10.06 PUD designation procedure:

1. Name, address and telephone number of the landowner:

**Sunset Development
PO Box 798
Friendswood, TX 77549
(281)648-2425**

**Jon Skeele, President
Charles Anders, Development Coordinator**

Acreage 2.1639

2. Date that the project is submitted to the planning and zoning commission:

December, 2014

3. The name of the proposed project:

El Mar Village

4. The names and addresses of the adjoining property owners within in 500 feet of the proposed

Supplied by City of Seabrook

5. A key map:

620L

6. All existing streets, drives, buildings, watercourses and bodies of water:

The site has been cleared of structures. The site was formerly an apartment project that was torn down. There are no watercourses or bodies of water on the site.

See Exhibit A (Survey, page 3)

7. The location and size of existing utilities within or adjacent to the proposed project site

See Exhibit B (Engineering, page 4)

8. The proposed location, type and size of the following:
- (a) Buildings and structures;
 - (b) Streets, drives, alleys, and curbs;
 - (c) Off-street parking areas with parking spaces individually drawn and counted;
 - (d) Sidewalks;
 - (e) Landscaping;
 - (f) Common open space and amenities sites;
 - (g) Site for solid waste containers; and
 - (h) Signs.

See Exhibit C (Plat, page 5)

See Exhibit C-1 (Colored Site Plan, page 6)

4.10.07 Standards for PUD Development.

The previous use of the preliminary El Mar Village PUD site was an apartment complex (R-3, Apartments) and that has been removed. The current zoning district of the site is R-1 Single Family Detached Residential. The preliminary El Mar Village PUD plan is to create a PUD with a base district of R-3 Medium Density Residential, Townhouses.

See Exhibit D (Standards for PUD Development, page 7-9)

4.10.08 Creation of a homeowner's association.

El Mar Village will be governed by a property owners association. The association will be set up by the developer for the benefit of the current and future property owners.

4.10.10 Development Schedule.

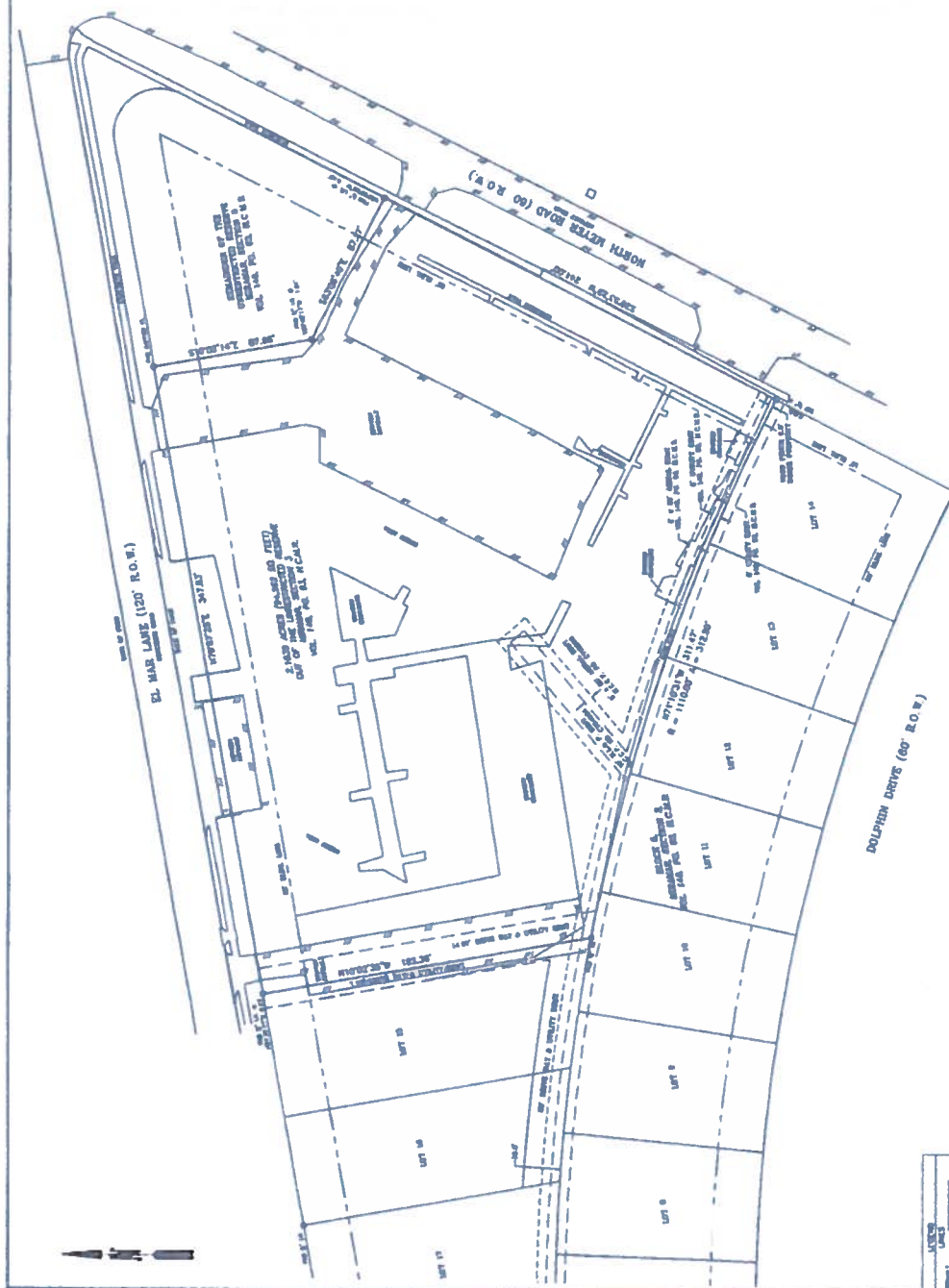
El Mar Village will begin development in 2015 and will be developed with the infrastructure improvements starting within 12 months of the final City Council PUD approval. The developer expects that construction of the infrastructure will be completed within 24 month of the final City Council PUD approval. Further, the developer expects all homes to be completed within 4th year from the start date. Current market demand would dictate a much faster production pace, but a conservative and prudent schedule is given above.

Standard Features.

See Exhibit E (Standard Features, page 10)

Architectural Plans.

See Exhibit F (Architectural Plans, page 11)



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that by attempting to turn a job into a personal quest, Gifford not only put himself at odds with people but also put his own job at risk. He was not to know, at this time, that his attempt at competing headlong to "improve" the

 [Signature]
 [Name]
 [Title]

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Business note:

1. Countries in
2. leading reform
3. This is an abhor-
4. urban utility of
5. opportunities. It
6. countries in a
7. urban growth
8. foreign has an
9. economic, com-
10. The survey de-
11. facilities, tech-
12. towns. Its main
13. development.
14. The word "urban"
15. regarding the in-
16. France is consid-
17. which may be de-
18. individual work
19. the editors
20. An additional
21. additional work

1. **1.1** The first part of the report, 'Introduction', sets the context for the study. It discusses the importance of understanding the factors that influence the success of a business and the need for a comprehensive analysis of the business environment.

2. **1.2** The second part of the report, 'Methodology', describes the research methods used in the study. It includes a discussion of the data sources, the sample size, and the statistical techniques employed.

3. **1.3** The third part of the report, 'Results', presents the findings of the study. It includes a detailed analysis of the data and a discussion of the implications of the results.

4. **1.4** The fourth part of the report, 'Conclusion', summarizes the key findings of the study and provides recommendations for future research.

5. **1.5** The fifth part of the report, 'References', lists the sources of information used in the study.

6. **1.6** The sixth part of the report, 'Appendix', contains supplementary information that supports the main text of the report.

7. **1.7** The seventh part of the report, 'Index', provides a list of the topics covered in the report and the pages on which they are discussed.

8. **1.8** The eighth part of the report, 'Glossary', defines the key terms and concepts used in the report.

9. **1.9** The ninth part of the report, 'List of Figures', provides a list of the figures included in the report.

10. **1.10** The tenth part of the report, 'List of Tables', provides a list of the tables included in the report.

11. **1.11** The eleventh part of the report, 'List of Abbreviations', provides a list of the abbreviations used in the report.

12. **1.12** The twelfth part of the report, 'List of Symbols', provides a list of the symbols used in the report.

13. **1.13** The thirteenth part of the report, 'List of Equations', provides a list of the equations used in the report.

14. **1.14** The fourteenth part of the report, 'List of Figures', provides a list of the figures included in the report.

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SCALE 1" = 30'

EMIS Surveying Services
8419 Phamous & Lundy, Albany
June 1991
Treas. Corp. TX 75391
Tel. (409) 938-8100 Fax (409) 938-8106
Treas. Corporation No. 1351-051-00

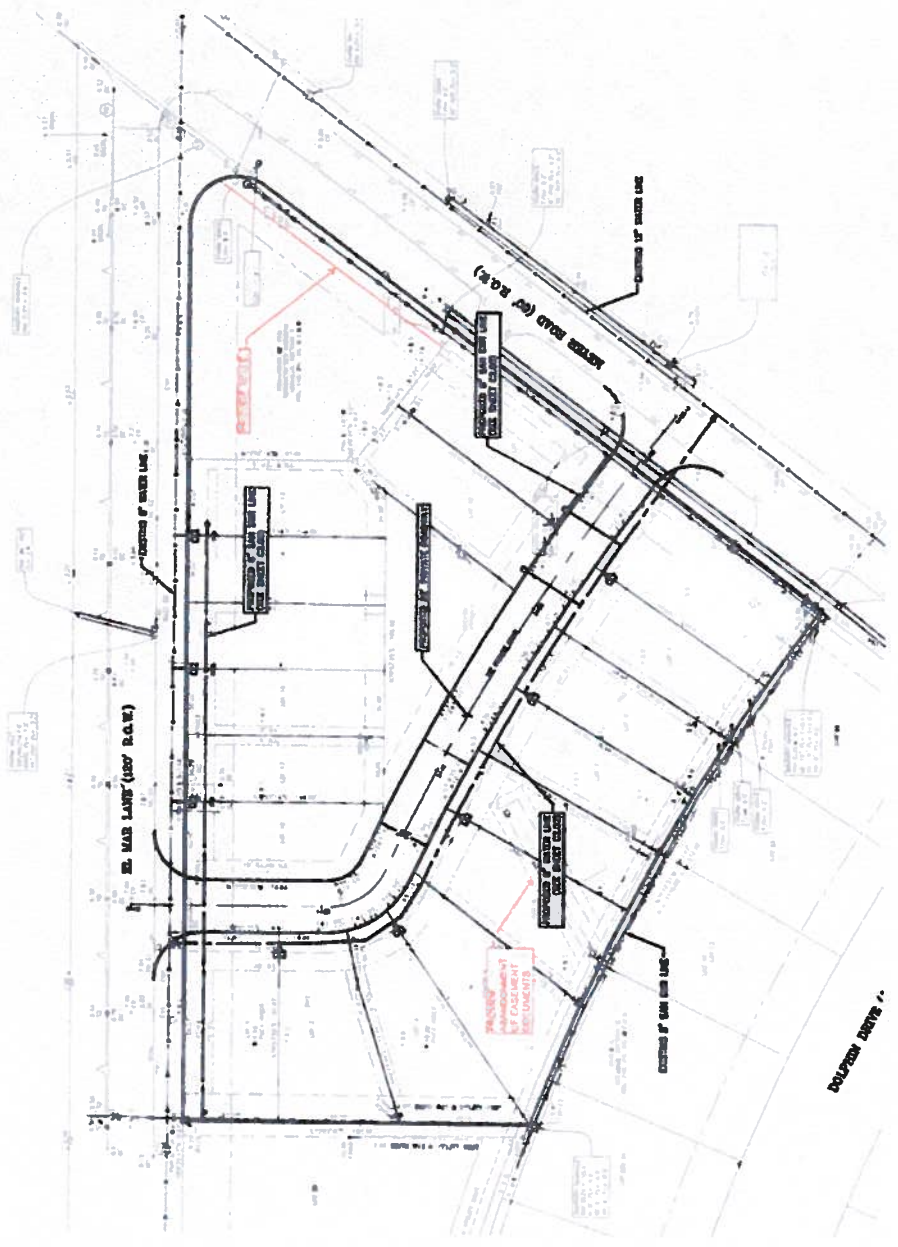
REV	REV	REV	REV
C	0-06-10	CONTRACT TO EXHIBIT 1A	DATE: 07-08-10 SCALE: 1" = 30'
B	07-07-10	FUEL	TANK AMERICAN TANK
A	07-02-10	PUMP SYSTEMS	CP NO. TANK 14-1003
			PROPERTY OF THE STATE

EL MAR VILLAGE BY
BAYWAY TOWNHOMES
SEABROOK, TEXAS

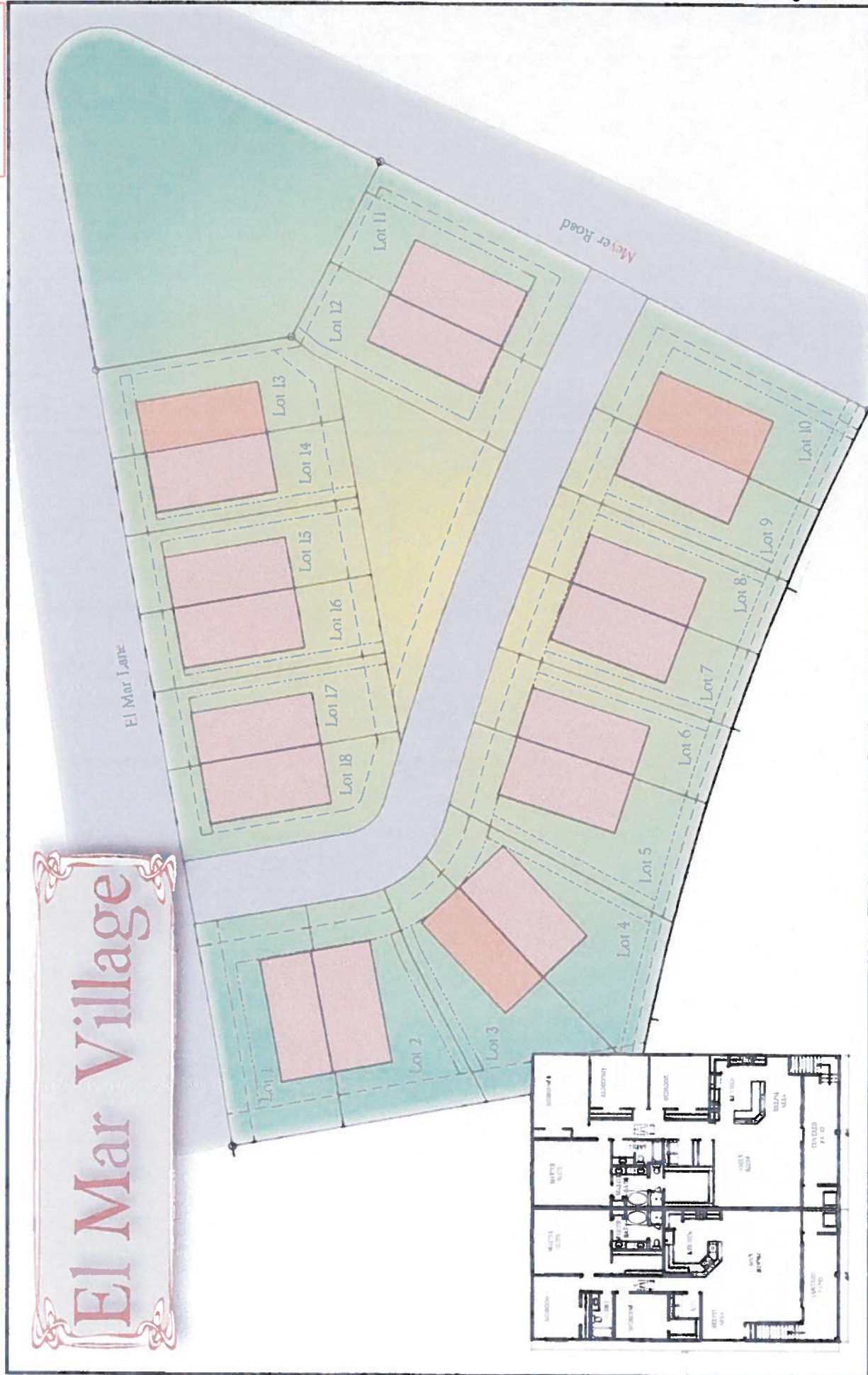
SHIELD MARK
MONITORING, LLC
C/O. JAMES O'NEILL
1200 17th Street East | Suite 1000 | Jacksonville, FL 32202
Tel: 904.777.1777

[illegible]

- [illegible]



DOLPHIN DRIVE



El Mar Village Planned Unit Development

Exhibit D Standards for PUD Development

El Mar Village Planned Unit Development is intended to accommodate a select land-use activity permitted within the underlying R-3, Townhome zoning classification. The district is designed to enhance the special characteristics of Seabrook, the small town character and create a "unique" place. El Mar Village PUD will be served by public utilities, public streets and a private drive. El Mar Village PUD is intended for single family use of attached townhomes that provide a balanced and attractive neighborhood.

Townhouses:

1. *Density:* One dwelling unit per lot.
2. *Front yard:* All buildings must be set back from the street right-of-way lines a minimum depth of 20 feet.
3. *Rear yard:* Primary buildings must be set back at least 10 feet from the rear property line.
4. *Water-abutting yard:* N/A
5. *Side yard:* Not less than ten feet between blocks of attached units, street rights-of-way or any property outside the townhouse development.
6. *Lot size:* 3,000 sq. feet. Project area shall be not less than 12,000 sq. ft.
7. *Building area:* Not more than 60 percent of total site area shall be covered by building mass.
8. *Lot width:* Not less than 30 feet.
9. *Lot depth:* Not less than 100 feet.

The following regulations apply to townhouses,

3.05.03. Height: No building or structure shall exceed 40 feet in height above base flood elevation.

3.05.04. Accessory structures: Accessory structures shall not occupy a required front or corner side yard or project beyond the front building line of the principal structure on a site. Accessory structures shall be set back at least five feet from interior side and rear property lines. A minimum distance of not less than ten feet shall be maintained between the main structure and accessory structures for townhouses and apartments/condominiums. The total floor area of accessory structures more than 30 inches in height shall not exceed 40 percent of the area of the required rear yard. No accessory structures or other obstructions including decks, pools, paving, landscaping structure or trees and fountains may be erected on any easement.

3.05.05. Buffering and screening:

Townhouses this zoning district which adjoins or abuts any property classified in the R-LD, R-1, R-2, OS or MH zone shall provide the following:

1. A front, side or rear setback as applicable that is as deep or wide as the minimum setback requirement in such adjoining or abutting zoning districts, or 10 feet, whichever is greater. Parking, loading and storage are prohibited in these setbacks; and

2. A screen fence or wall along the common property line which shall be 100-percent impervious to sight and at least six feet in height. If this fence is visible to the public it shall be landscaped as specified in article 5. Fencing is not required for properties which are separated by a street from any R-LD, R-1 or R-2 zone.

3.05.06. Outside display and storage:

1. No storage is permitted beyond the front building line.
2. No storage is permitted in required parking areas.

3.05.07. Animal control: No farm fowl or animals shall be kept within 100 feet of the property line; provided, however, that small domestic animals for school projects may be kept on the premises within 100 feet of the property line, if all terms and conditions of the school project exception as set out in the domestic animals ordinance are followed.

3.05.08. Parking: Parking shall be in accordance with article 5 of this ordinance. Please see the comprehensive off-street parking regulation matrix.

3.05.09. Landscaping: Shall be in accordance with landscaping requirements in article 5 of this ordinance.

3.05.10. Reserved.

3.05.11. Supplementary regulations:

- A. Temporary structures for uses incidental to construction work on the premises which are removed upon completion or abandonment of construction work are allowed upon permit from the building official.
- B. No temporary structures, including recreational vehicles, construction trailers or travel trailers, may be used for on-site dwelling purposes. Recreational vehicles included by not limited to boats, golf carts, small four wheel vehicles are allowed to be stored under the primary residential structure.
- C. Eaves shall be permitted to encroach no more than 18 inches upon any setback.

Uses permitted within the El Mar Village PUD will be Townhomes. The below is the Building Variance Matrix for the underlying R-3, Townhome and the El Mar Village PUD.

	Section 3.05. - R-3 Medium Density Residential District, C. Townhomes	EL Mar PUD
1. Density	One dwelling unit per lot	One dwelling unit per lot
2. Front Yard	20 Feet	15 Feet
3. Rear Yard	15 Feet	15 Feet
4. Water-abutting yard		N/A
5. Side Yard	10 Feet between buildings	10 Feet between buildings
6. Lot Size	3,000 Square feet	3,000 Square feet
7. Building Area	60% Building/Lot Coverage	20% Open Space
8. Lot Width	Not less than 30 feet	Not less than 30 Feet
9. Lot Depth	Not less than 100 feet	Not less than 100 feet
3.05.03 Height	Not to exceed 40 feet in height	Not to exceed 40 feet above Base Flood Elevation
3.05.05 Buffering	Min set back or 30 feet	10 Feet
3.05.05 Screening	6 Feet impervious fence	6 Feet impervious fence
Recreational Vehicles Storage	N/A	Allowed under residential structure

Minimum 20% Open Space will be provided.

Exhibit E



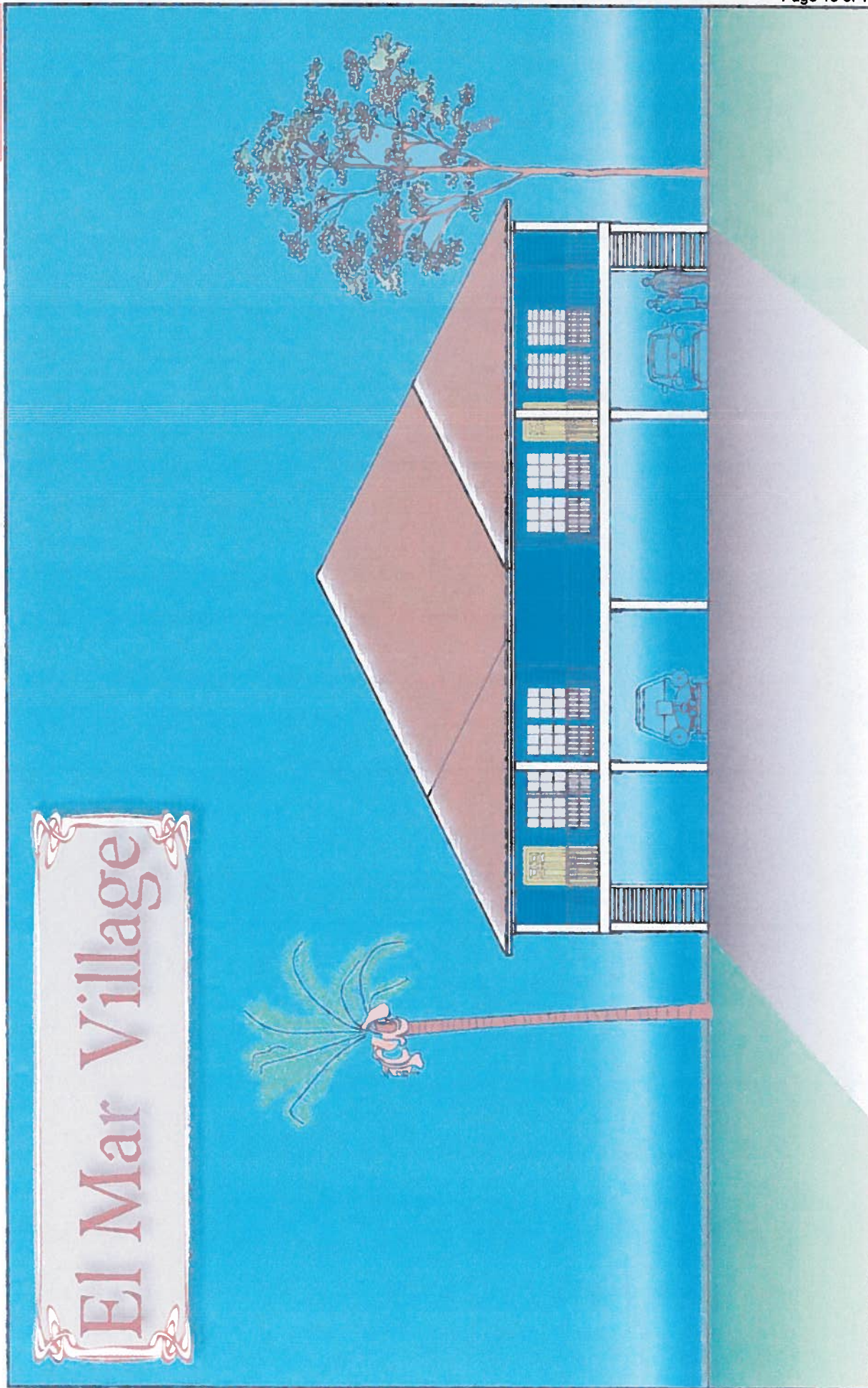
El Mar Village, Seabrook, TX 77586

Standard Features

- 30 Year Owens Corning Dimensional Shingles
- Dual pane, low-E windows reduce outside noise and radiant heat build-up
- Full exterior 7/16" sheathing on all exterior walls with vapor barrier wrap
- James Hardie siding and trim
- Windstorm shutters and hardware (not installed)
- High efficiency name brand 14 SEER A/C with programmable thermostat
- Name brand gas furnace with stainless heat exchanger and natural gas water heater
- High value R-30 ceiling insulation
- Front & side gutters
- Professionally designed landscape package in front to include palm trees
- Pre-wired for security system, Phone Jacks, and Cable TV Outlets
- Number of balconies included are per plan
- Third party windstorm engineered, Third party quality inspections thru construction process
- 10 year warranty home protection plan thru Bonded Builders Warranty Group
- Ceramic tile in kitchen, breakfast, utility and bathrooms & diagonal kitchen backsplash
- Granite kitchen countertops
- Cultured Marble vanity tops in all bathrooms
- 42" kitchen cabinets, matching kitchen and bath vanity cabinets
- Name Brand dishwasher, gas range and stove and microwave vent hood
- Rounded sheet rock corners and 3 1/8" base molding
- Sherwin Williams Two toned interior paint (walls & ceiling, flat one color, trim one color)
- Smoke and CO2 detectors
- Two cable outlets and two phone jacks
- Large master closet – all closets have wood shelving on shelves with no bar beneath
- Connections for gas or electric dryer and stove

In an effort to bring our customers the best possible home and construction, Bayway Homes, Inc. reserves the right to change features without additional notice. Please check the accuracy of information provided with your Sales Counselor prior to purchasing.
Features noted can be plan specific

Last Update 3/15/15



ORDINANCE NO. 2015-08
PROCEDURE FOR CONSIDERATION OF PRELIMINARY PUD PLANS

AN ORDINANCE AMENDING THE SEABROOK CODE OF ORDINANCES, APPENDIX A "COMPREHENSIVE ZONING", ARTICLE 4, "SPECIAL USE REGULATIONS", SECTION 4.10 "PLANNED UNIT DEVELOPMENTS" ("PUD"), BY UPDATING AND CLARIFYING PROCEDURES FOR CONSIDERATION OF PRELIMINARY PUD PLANS PURSUANT TO SUBSECTION 4.10.06 "PUD DESIGNATION PROCEDURE"; PROVIDING FOR A PENALTY IN AN AMOUNT NOT TO EXCEED \$2000.00 FOR VIOLATION OF ANY PROVISION HEREOF BY INCLUSION INTO THE CODE; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES INCONSISTENT OR IN CONFLICT HERewith; AND PROVIDING FOR SEVERABILITY, EFFECTIVE DATE AND NOTICE.

WHEREAS, the Seabrook Code of Ordinances, ("Code"), Appendix A, "Comprehensive Zoning," Article IV. "Special Use Regulations", Section 4.10 "Planned Unit Developments" ("PUD") currently empowers the Planning and Zoning Commission to require additional information at the time the preliminary PUD plan is considered and to recommend approval of the preliminary PUD plan with or without modifications or to recommend denial of the plan pursuant to Section 4.10.06; and

WHEREAS, Section 4.10.06 simply provides that the City Council "shall approve or deny PUD designation of the site"; and

WHEREAS, the City Council has determined the need to clarify and update the procedure for its consideration, review, and evaluation of the preliminary plan submittal; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SEABROOK, STATE OF TEXAS:

SECTION 1. FINDINGS OF FACT.

That the facts and matters set forth in the preamble of this Ordinance are hereby found to be true and correct.

SECTION 2. AMENDMENT TO THE CODE.

The Seabrook Code of Ordinances, Appendix A, "Comprehensive Zoning Ordinance", Article 4, "Special Regulations," Section 4.10, "Planned Unit Developments", Section 4.10.06. "PUD Designation Procedure", Subsection A, "Submission of Preliminary Plan" and Subsection B, "Submission of a Final PUD Plan" are hereby amended as shown below.

"4.10.06. PUD designation procedure: The process for the filing of an application, requirements for notice and advertisement of public meetings, procedures for protest of the

establishment of PUD designation and other related action shall be the same as those provided for in the rezoning process as described in Article 2, Section 2.04, **"Amendments to the Zoning Map and Zoning Text"** of the Code. In addition to the above, the landowner shall be governed by the following requirements:

A. Submission of the preliminary PUD plan: The Planning and Zoning Commission shall hold a public hearing on an application for PUD designation. Prior to the approval of such designation, the landowner shall submit a preliminary plan. The following information shall be shown on the preliminary plan:

1. The name, address and telephone number of the landowner;
2. The date that the project is submitted to the planning and zoning commission;
3. The name of the proposed project;
4. The names and addresses of adjoining property owners within 500 feet of the proposed project site;
5. A key map;
6. All existing streets, drives, buildings, watercourses, and bodies of water;
7. The location and size of existing utilities within or adjacent to the proposed project site; and
8. The proposed location, type and size of the following:
 - (a) Buildings and structures;
 - (b) Streets, drives, alleys, and curbs;
 - (c) Off-street parking areas with parking spaces individually drawn and counted;
 - (d) Sidewalks;
 - (e) Landscaping;
 - (f) Common open space and amenities sites;
 - (g) Sites for solid waste containers; and
 - (h) Signs.

The Planning and Zoning Commission is empowered to require additional information necessary for a complete understanding of the proposed PUD. After appropriate review and consideration, the Planning and Zoning Commission shall file a report with the City Council, recommending approval, approval with modifications to the PUD plan, or denial of PUD designation of the site.

In accordance with Article 2, Section 2.04, of this Ordinance, the City Council shall hold a public hearing and shall review the PUD report from the Planning and Zoning Commission. ~~[The city council shall approve or deny PUD designation of the site.]~~ **The City Council may require additional information of the proposed PUD. After appropriate review and consideration, the City Council may approve the preliminary PUD plan with or without modifications or deny the PUD.**

B. ***Submission of a final PUD plan:*** Before a building permit may be issued or before any development action on a proposed PUD may begin, the landowner shall submit a

final plan to the Planning and Zoning Commission for consideration and then City Council for final approval. The submission may be for all of the land included within a proposed PUD site or for a part of the site. The submission shall include all of the information prescribed in Subsection A. above, and shall additionally include specifications, covenants, easements, conditions, bonds, or other information required by the Commission and/or City Council."

(Ord. No. 2013-08, § 2, 6-18-2013; Ord. No. 2013-14, § 2, 9-3-2013; Ord. No. 2014-10, § 2, 6-17-2014)

SECTION 3. INCORPORATION INTO THE CODE, PENALTY CLAUSE.

This Ordinance is hereby incorporated and made a part of the Seabrook City Code. Violation of this ordinance is subject to the penalty section of said Code and Ordinance, Sections 1-15 "General Penalty" and 11.06 "Criminal Enforcement", which provides that any person who shall violate any provision of this Ordinance shall be deemed guilty of an offense and, upon conviction, shall be fined in an amount not to exceed \$2,000.00. Each day of violation shall constitute a separate offense.

SECTION 4. REPEAL OF CONFLICTING ORDINANCES.

All ordinances or parts of ordinances in conflict or inconsistent with this Ordinance are hereby expressly repealed.

SECTION 5. SEVERABILITY.

In the event any clause phrase, provision, sentence, or part of this Ordinance or the application of the same to any person or circumstances shall for any reason be adjudged invalid or held unconstitutional by a court of competent jurisdiction, it shall not affect, impair, or invalidate this Ordinance as a whole or any part or provision hereof other than the part declared to be invalid or unconstitutional; and the City Council of the City of Seabrook, Texas, declares that it would have passed each and every part of the same notwithstanding the omission of any such part thus declared to be invalid or unconstitutional, whether there be one or more parts.

SECTION 6. NOTICE.

The City Secretary shall give notice of the enactment of this Ordinance by promptly publishing it or its descriptive caption and penalty after final passage in the official newspaper of the City; the Ordinance to take effect upon publication.

PASSED AND APPROVED on first reading this 7th day of April 2015.

PASSED AND APPROVED on second and final reading this 21st day of April 2015.

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BY: _____
Glenn R. Royal, Mayor

ATTEST:

By: _____
Michele L. Glaser, TRMC
City Secretary

APPROVED AS TO FORM:

Steven L. Weathered
City Attorney